

COMMERCIAL BUILDING SURVEY

Property Address

1 & 2 Sample Parade
Sampleton
Sampletown
Essex
XX1 1XX



Prepared for
A Sample
Sample Enterprises Limited

Prepared by
Dennis Brett MCIOB FFPWS LCGI MPTS
Site Sage Chartered Building Consultancy

Inspection Date
5 March 2026

Report Date
12th March 2026

Executive Summary

This report provides the findings of a **Commercial Building Survey** undertaken at **1 & 2 Sample Parade, Sampleton, Sampletown**.

The property forms part of a **1960s neighbourhood retail parade**, comprising a ground floor commercial unit with **HMO accommodation above**.

The main structure of the building appears generally sound; however, several **maintenance and repair items** were identified.

Key issues include:

- Defective **secondary roof coverings** requiring replacement
- **Water ingress** to the rear hallway caused by roof failure
- **External decoration deterioration** requiring full redecoration
- Minor **cracking to the rear store wall**
- **Blown double-glazed units and cracked rooflight glass**
- **Internal decoration wear** throughout the HMO accommodation

The **main flat roof over the HMO accommodation appears to have been recently renewed** and is reported to be subject to a warranty.

A number of items should also be **confirmed by the client's solicitor**, including:

- existence of roof and boiler warranties
- asbestos survey documentation
- lease details and service charges
- ownership of boundary structures

Overall the property is considered **structurally sound**, although **repair and maintenance works are required**, particularly in relation to the secondary roof coverings.

1. Instruction

I was instructed by **Mr A Sample of Sample Enterprises Limited** to undertake a **Commercial Building Survey** of the property known as **1 & 2 Sample Parade, Sampleton, Sampletown XX1 1XX**.

The survey was requested in connection with the proposed **purchase or lease assignment of the premises**.



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The purpose of the survey was to provide an **independent professional opinion regarding the condition of the building and identify any significant defects or maintenance liabilities.**

2. Inspection

The inspection was undertaken on **5 March 2026.**

I met with the client **Mr A Sample** at approximately **11:30am.**

I subsequently met with the current leaseholder **Mr B Example** at approximately **12:00 noon.**

Mr Example confirmed that he has held the lease for approximately **eight years** and is now selling the leasehold interest.

Mr Example confirmed that he **is not the freeholder of the property.**

3. Description of Property

The property forms part of a **neighbourhood commercial parade constructed in the 1960s.**

The ground floor comprises a **commercial premises currently occupied by Sample Enterprises Limited.**

Above the commercial unit is **residential accommodation arranged as a House in Multiple Occupation (HMO).**

The residential accommodation is accessed **independently from the rear via an external staircase.**

Construction appears to comprise:

- masonry external walls finished in render
- flat roof construction above the commercial premises
- uPVC double glazed windows to the residential accommodation

To the left-hand side of the building is a **gap between the properties which has been boarded over.**

Planning permission was previously obtained by the freeholder to build upon this area, however this permission has now expired.



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4. Scope of Survey

The inspection was undertaken as a **visual, non-intrusive building survey**.

The inspection included observation of:

- roof coverings
- rainwater goods
- external walls
- windows and external joinery
- shopfront structure
- internal floors, walls and ceilings
- structural elements where visible
- services installations (visual only)

Services were **not tested**.

5. Building Information and Verbal Enquiries

The following information was obtained from the seller and should be confirmed through solicitor enquiries.

The property is held **leasehold with approximately 11 years remaining**.

Ground rent is understood to be **approximately £800 per annum**.

The HMO accommodation is licensed for **four tenants**, with one room currently vacant.

The electrical meter is located **within the ground floor premises**.

The boiler serving the HMO accommodation is approximately **two years old** and located within the kitchen.

The main stopcock is located **in the hallway opposite the kitchen**.

The premises are connected to a **water meter**.



18. Main Roof Covering

Condition Rating: 1

The main roof covering serving the HMO accommodation comprises a **flat felt roof covering**.

The roof appears to have been **recently renewed** and was reported by the seller to be subject to a warranty.

No significant defects were observed.

The client's solicitor should request **confirmation of any roof warranty documentation**.

19. Secondary Roof Coverings

Several secondary roof coverings were observed.

Corrugated Roof – Rear Store

Condition Rating: 2

The rear store is covered with a corrugated roof covering showing **signs of age and deterioration**.

The covering is not currently leaking, however its **remaining life expectancy is approximately three to five years**.

Rear Flat Roof – Hallway Area

Condition Rating: 3

The asphalt roof above the rear hallway is **defective and leaking**.

The ceiling below is **saturated with mould growth present**.

In my opinion the roof requires **complete replacement**.



Front Canopy Roof

Condition Rating: 3

The asphalt roof forming the canopy above the front entrance is **in poor condition and leaking at the junction with the shop signage.**

Replacement of the roof covering is recommended.

21. Rainwater Goods and Drainage

Condition Rating: 1

A downpipe is present to the front elevation.

No evidence of leakage or blockages was observed.

22. Main Walls

Condition Rating: 1 (main structure)

The main external walls appear structurally sound.

Rear Store Wall

Condition Rating: 2

Minor cracking was observed to the rear store wall.

This appears to be caused by **shallower foundations compared with the main building.**

Minor repairs including **repointing and crack stitching** may be required.

23. Windows and Glazing

Condition Rating: 2

Some double-glazed units have **blown seals**.

The **Velux rooflight serving the kitchen has a cracked pane** requiring replacement.

24. External Doors

Condition Rating: 2

The front door to the commercial premises **requires adjustment**.

25. External Woodwork

Condition Rating: 1

External joinery appeared generally sound.

26. Cladding

Condition Rating: 1

uPVC cladding above the shopfront serving Flat 17 appears in good condition.

27. External Decorations

Condition Rating: 3



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External painted surfaces are **weathered and deteriorated**.

Full redecoration is recommended.

28. Paths, Paving and Boundary Walls

Condition Rating: 2

Various minor issues were observed including:

- temporary timber screening to rear railings
- minor cracking to rear store boundary wall

The asphalt pathway providing access to the HMO also forms a **roof structure below and is leaking**, cross-referenced with Section 19.

29. External Structures

Condition Rating: 2

The rear store structure is covered with a corrugated roof covering approaching the end of its service life.

31. Floors

Condition Rating: 2

The concrete floor structure appears sound.

However raised tiled areas in the kitchen and bathrooms create an **uneven floor level**, ramped with timber to reduce the step.

33. Ceilings

Condition Rating: 2

Minor hairline cracks were observed to plaster finishes.



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Textured coatings (Artex) are present and **may contain asbestos**.

34. Internal Walls

Condition Rating: 2

Hairline cracking was observed which can be filled during redecoration.

35. Built-in Fitments

Condition Rating: 2

Kitchen worktops show signs of wear but remain serviceable.

36. Internal Woodwork

Condition Rating: 1

Internal joinery appeared sound.

37. Internal Decorations

Condition Rating: 3

Internal decorative finishes require **complete redecoration**.

38. Sanitary Fittings

Condition Rating: 2

Mastic sealant around sanitary fittings is poor and should be renewed.

Evidence of historic leakage was observed but appears **dry at present**.



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39. Dampness

Water ingress was observed to the hallway ceiling caused by the defective roof covering above.

40. Electrical Services

Condition Rating: 1

A valid **HMO electrical safety certificate** is available.

41. Gas

Not applicable.

No gas supply present.

42. Water

Condition Rating: 1

Water supply is metered.

43. Heating

Condition Rating: 1

Heating is provided by an **electric boiler approximately two years old**.

The client's solicitor should request **warranty and installation documentation**.



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44. Drainage

Condition Rating: 2

Minor leakage occurs during heavy rainfall due to defects to the canopy roof covering.

47. Boundary Fences and Walls

Ownership of the boundary structures is **unknown and should be confirmed through solicitor enquiries.**

48. Disabled Access

No specific disabled access provisions were observed.

49. Guarantees and Warranties

Potential warranties may exist for:

- the recently renewed flat roof
- the boiler installation

These should be requested from the seller.

50. Asbestos

Given the age of the building and the presence of **Artex textured coatings and an asbestos cement flue**, an **asbestos survey should be obtained.**



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51. Trees and Japanese Knotweed

No evidence observed.

52. Energy Efficiency

An EPC should be obtained.

Note that **no heating** is provided to the ground floor commercial unit.

53. Noise and Acoustic Issues

No issues were identified.

Surveyor's Declaration

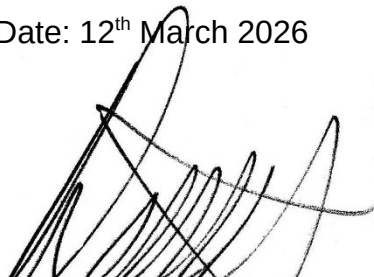
This report has been prepared following a **visual inspection of the property** and reflects the condition observed at the time of inspection.

No destructive investigations were undertaken.

The report is prepared solely for the use of the client named within this report.

Dennis Brett MCIOB FFPWS LCGI MPTS
Site Sage Chartered Building Consultancy

Date: 12th March 2026



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Photographic Appendices

The following photographic appendices provide a visual record of the condition of the property at the time of inspection. The photographs are included to assist in illustrating the construction, layout and general condition of various elements of the building referenced within the main body of this report.

The images should be read in conjunction with the relevant sections of the building survey and are intended to provide supporting visual information rather than a comprehensive photographic record of every element of the property.

Due to the nature of building inspections, photographs represent conditions observed only at the specific locations and at the time of the inspection. Areas concealed, covered, inaccessible or not photographed were not inspected and therefore no comment can be made regarding their condition.

Photographs are provided for general guidance only and should not be relied upon as a substitute for the written observations and recommendations contained within the main report.

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Appendix A – External Front Elevation

This appendix contains photographs of the principal front elevation of the property as viewed from the public highway. The images illustrate the overall appearance of the building, including the shopfront serving the ground floor commercial premises and the residential accommodation located above.

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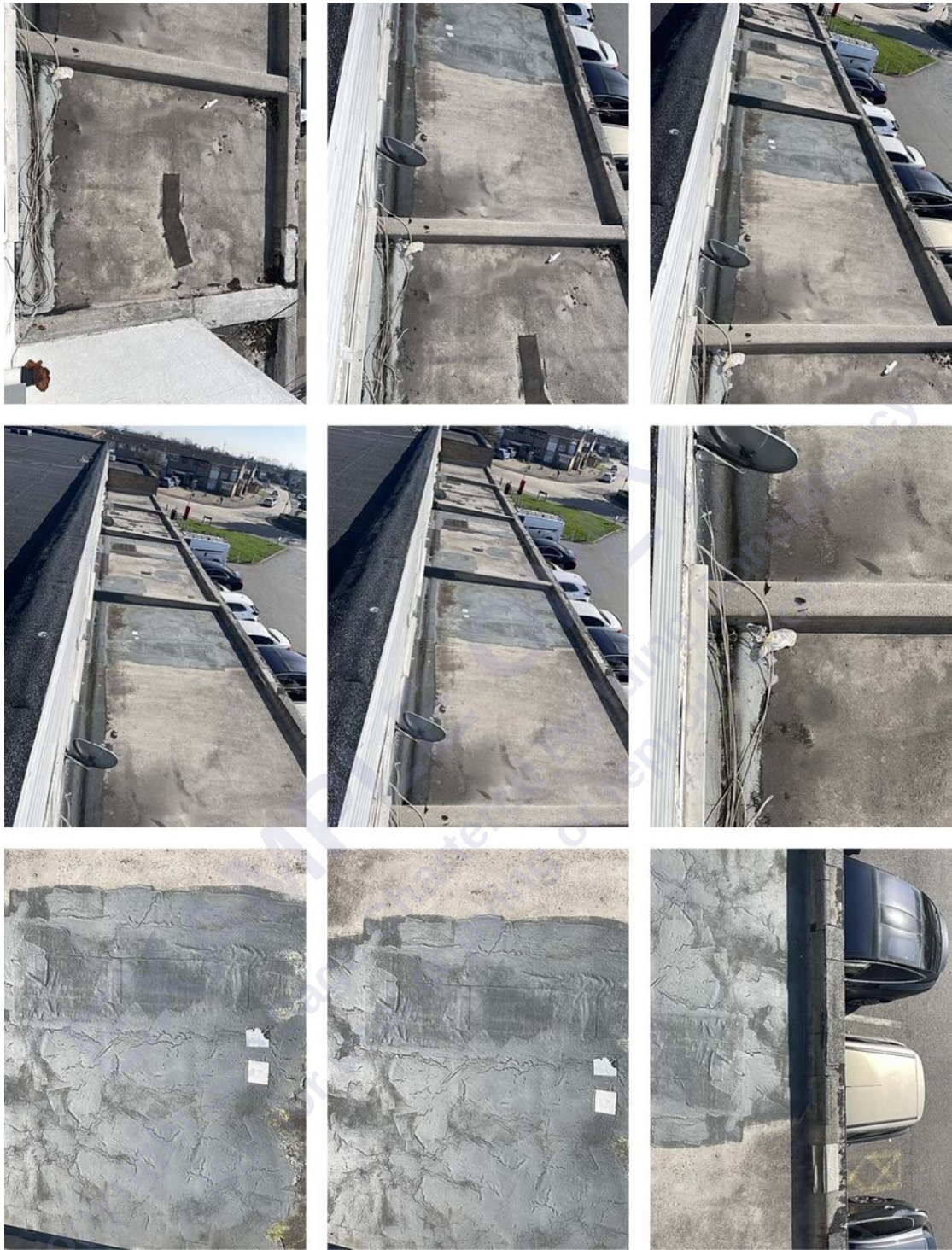
Appendix B – Flat Roof Over Entrance to Ground Floor Commercial Unit

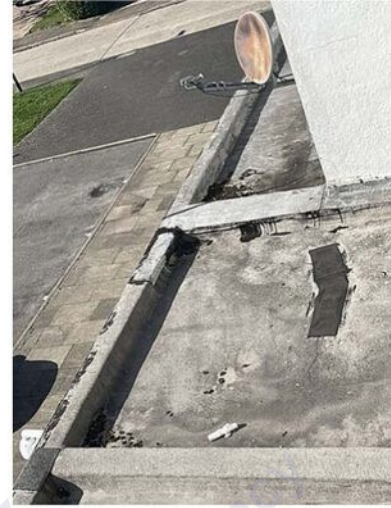
This appendix contains photographs of the flat roof canopy located above the entrance to the ground floor commercial premises. The roof forms a protective canopy above the shop entrance and associated frontage.

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Appendix C – Interior of Ground Floor Commercial Unit

This appendix contains photographs illustrating the internal areas of the ground floor commercial premises, including the general layout, internal finishes and overall condition of the commercial space.

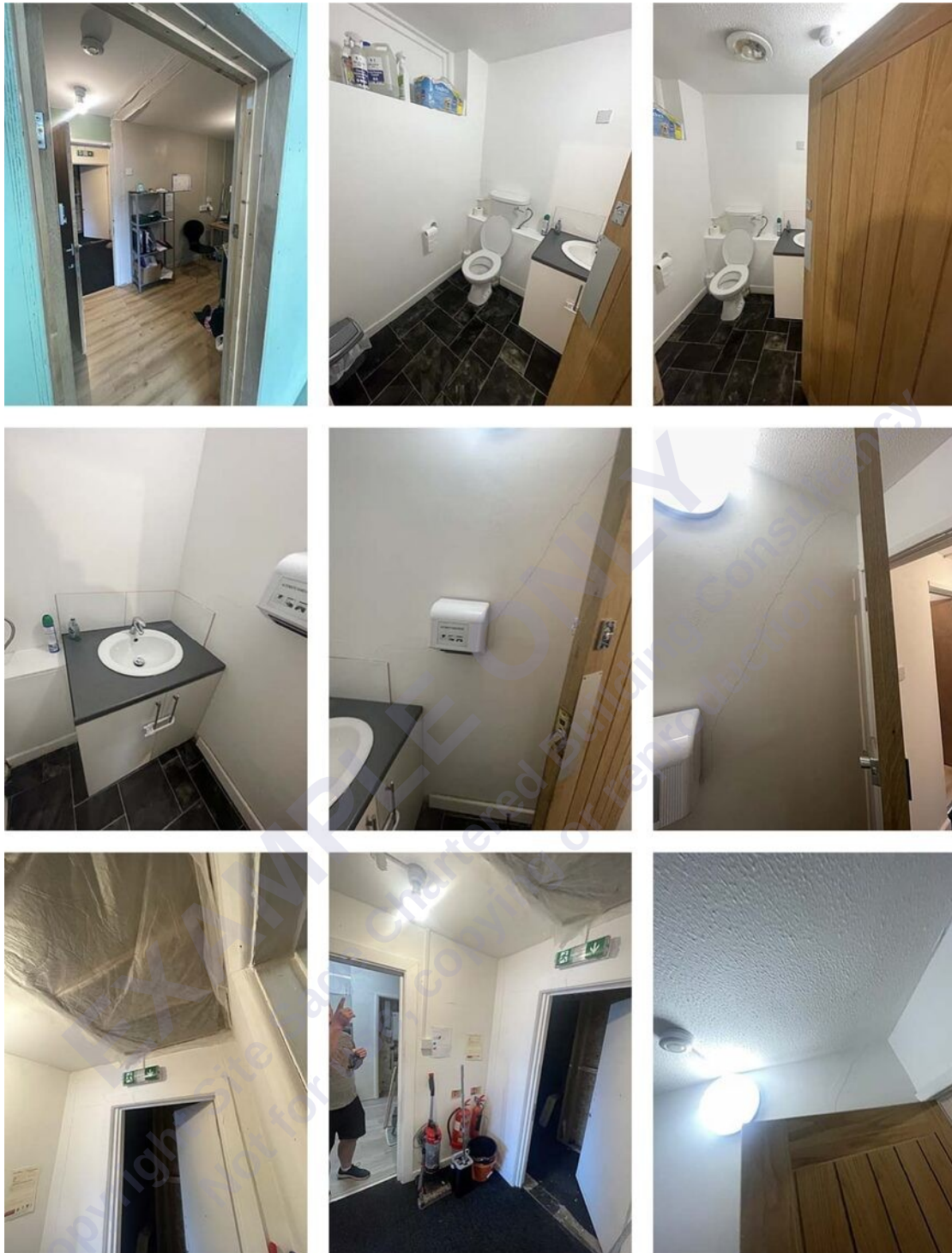
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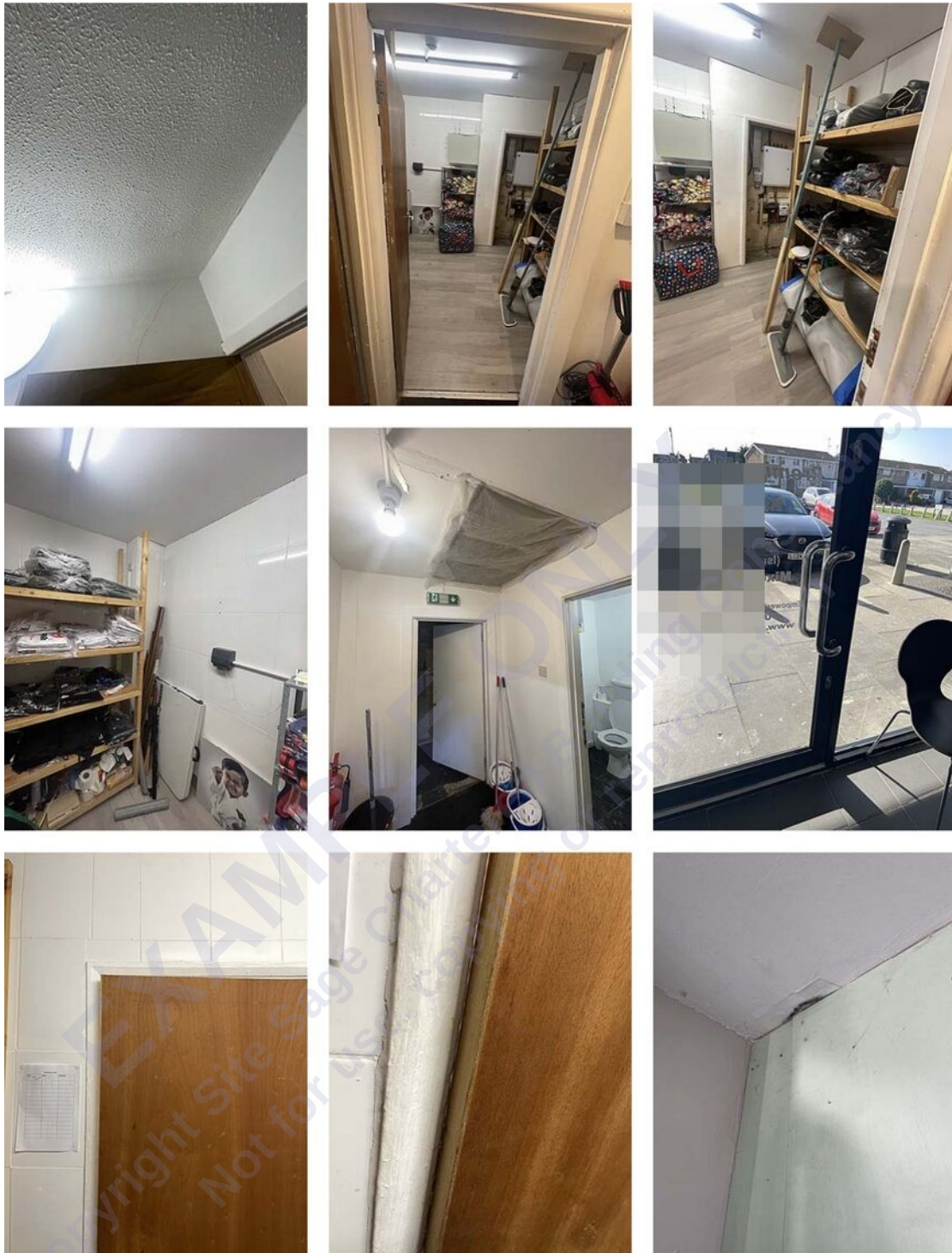


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Appendix D – Interior of HMO Flat Above Shop

This appendix contains photographs illustrating the internal areas of the residential accommodation located above the commercial unit. The images provide a general overview of the condition and layout of the HMO accommodation.

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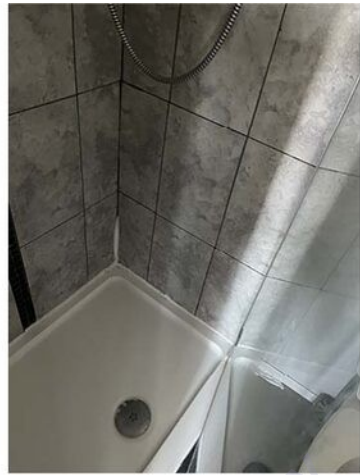
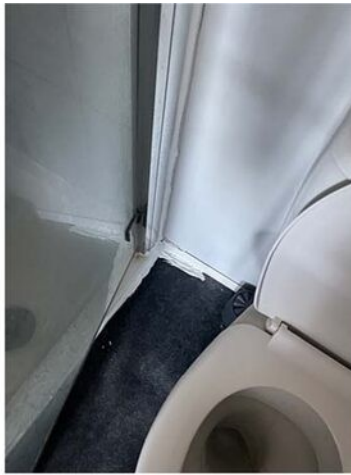


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Appendix E – Main Flat Roof Over HMO

This appendix contains photographs of the principal flat roof covering located above the HMO accommodation. The images illustrate the condition of the roof surface and associated roof elements observed during the inspection.

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Appendix F – Rear Elevation Entrance to HMO Flat

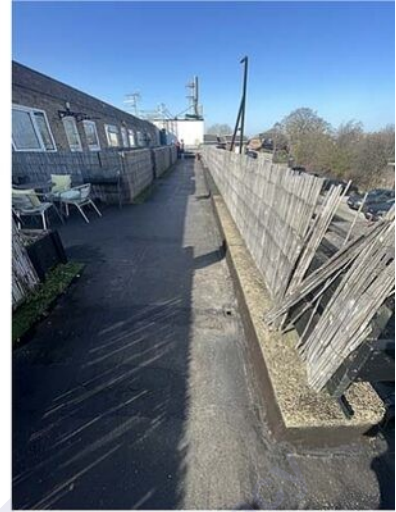
This appendix contains photographs showing the rear access arrangements providing entry to the HMO accommodation located above the commercial premises.

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Appendix G – Rear Elevation of Ground Floor Commercial Unit

This appendix contains photographs illustrating the rear elevation of the ground floor commercial unit, including service areas and secondary access points.

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Appendix H – Rear Elevation and Entrance to HMO Flat Above Rear Shop

This appendix contains photographs illustrating the rear elevation and access route serving the residential accommodation located above the commercial premises.

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Appendix I – Rear Flat Roof Covering Ground Floor Rear Hall and Pathway

This appendix contains photographs showing the flat roof covering located over the rear ground floor hall and access pathway leading to the residential accommodation above.

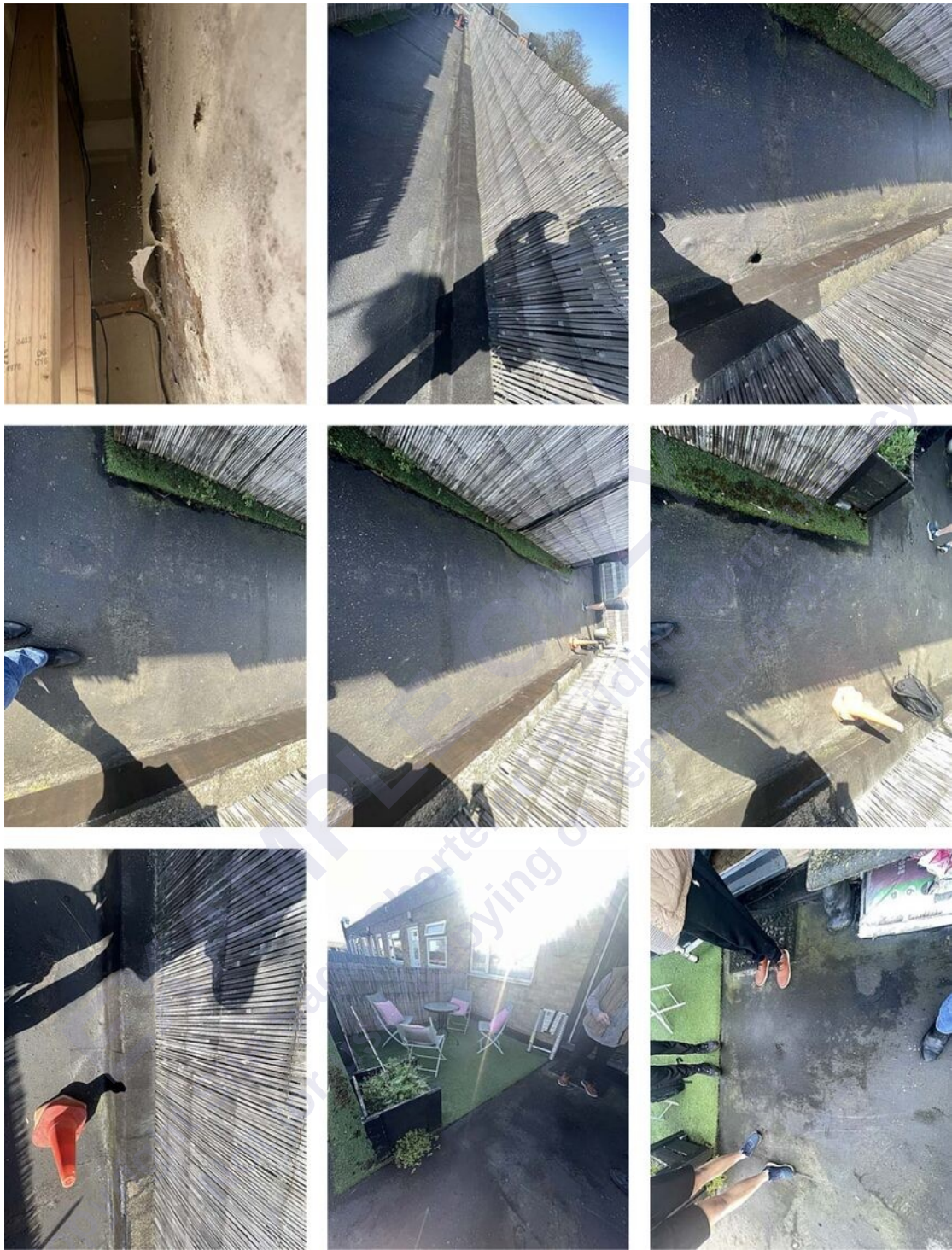
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Appendix J – Rear Ground Floor Store with Corrugated Roof

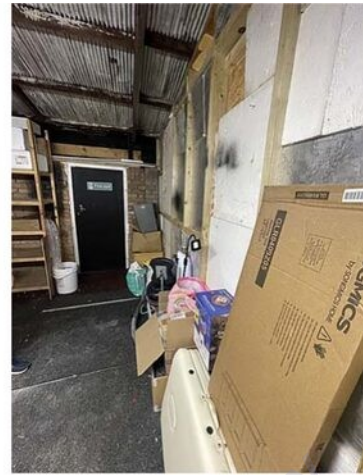
This appendix contains photographs of the rear ground floor storage structure including the corrugated roof covering and associated construction.

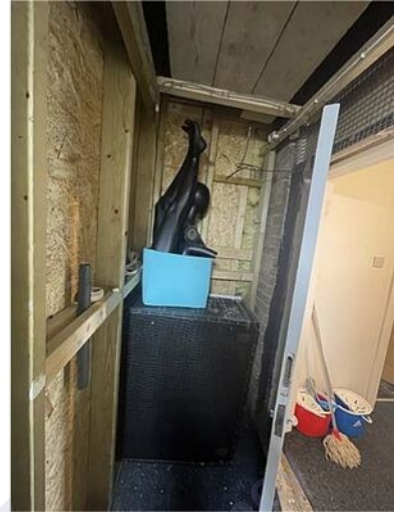
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Appendix K – Secondary Roof Covering Over Ground Floor Store

This appendix contains photographs illustrating the secondary roof covering located above the ground floor store to the rear of the property.

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Appendix L – Services to Ground Floor Commercial Unit

This appendix contains photographs of visible service installations associated with the ground floor commercial premises.

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Appendix M – Services to HMO Accommodation

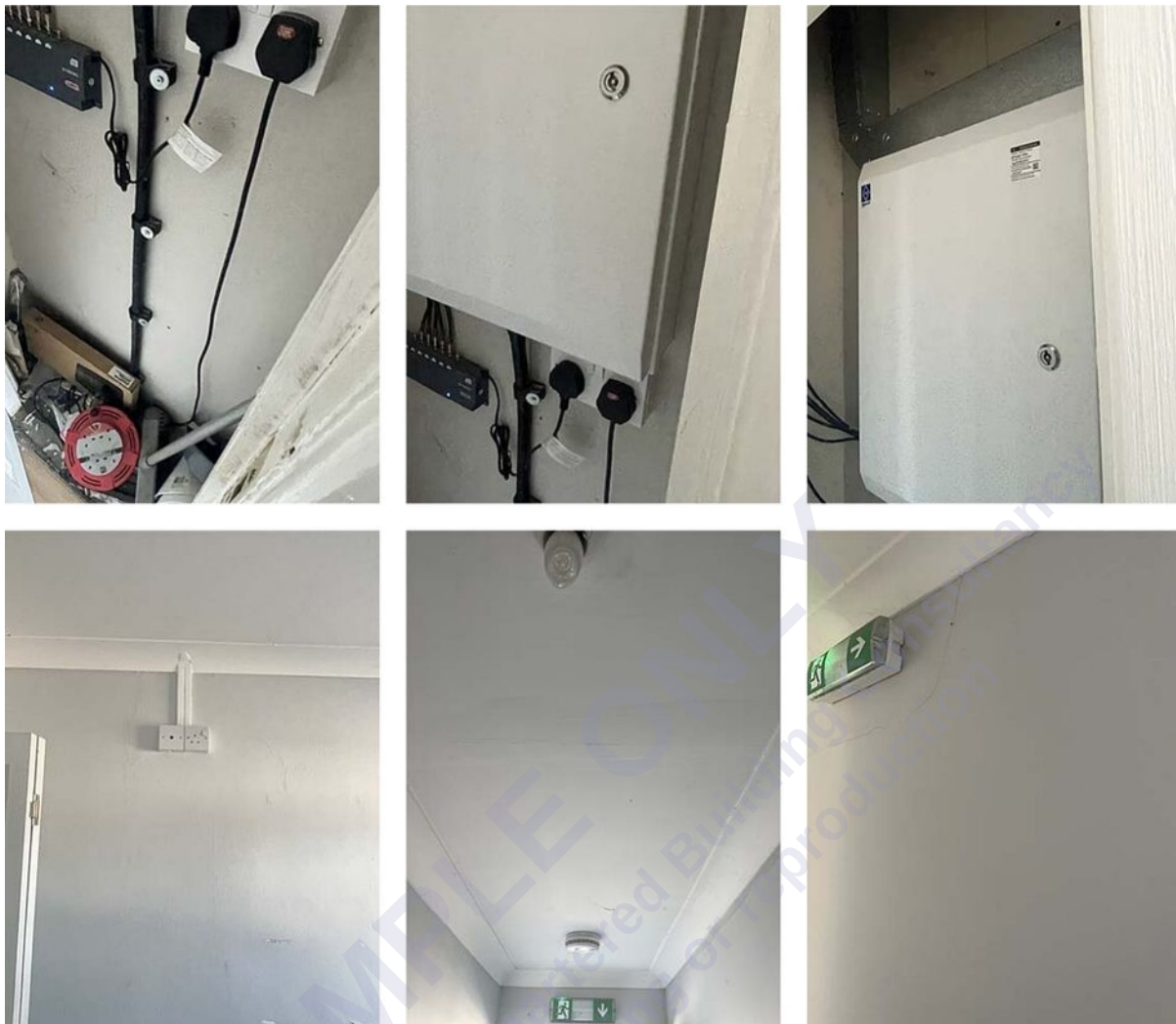
This appendix contains photographs of visible service installations serving the residential accommodation located above the commercial premises.

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Appendix N – Side Elevation Gap Between Buildings

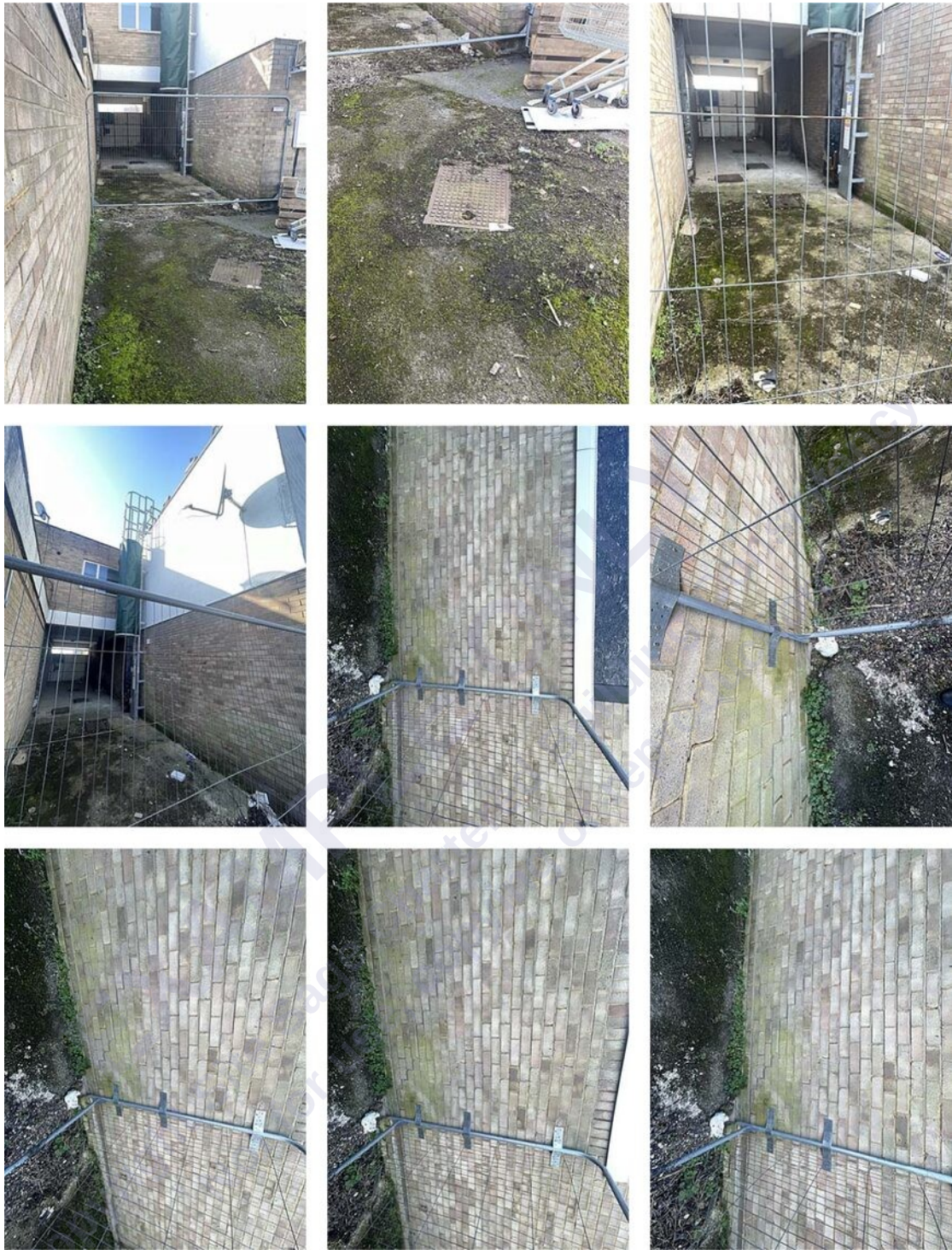
This appendix contains photographs illustrating the narrow side passage between adjacent buildings, including the external wall surfaces and general condition of the passageway.

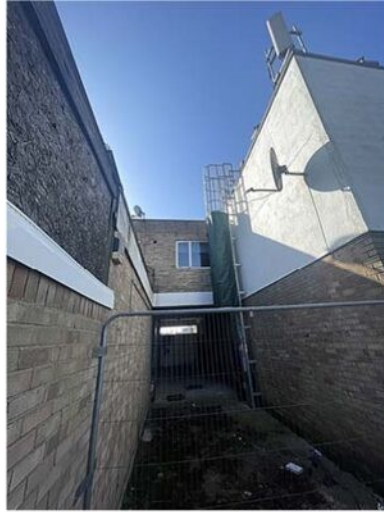
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